

C O D E S



MAIN STREET IN THE THIRTIES.

FROM BARBER'S HISTORICAL COLLECTIONS OF MASSACHUSETTS, 1838.

Nobility Hill.

United States Hotel. Town Hall. Old South Church. Charles Allen.

Of the Form-Based Kind

The Ideal - Urban Form



The Ideal - Urban Form



The Real - Codes

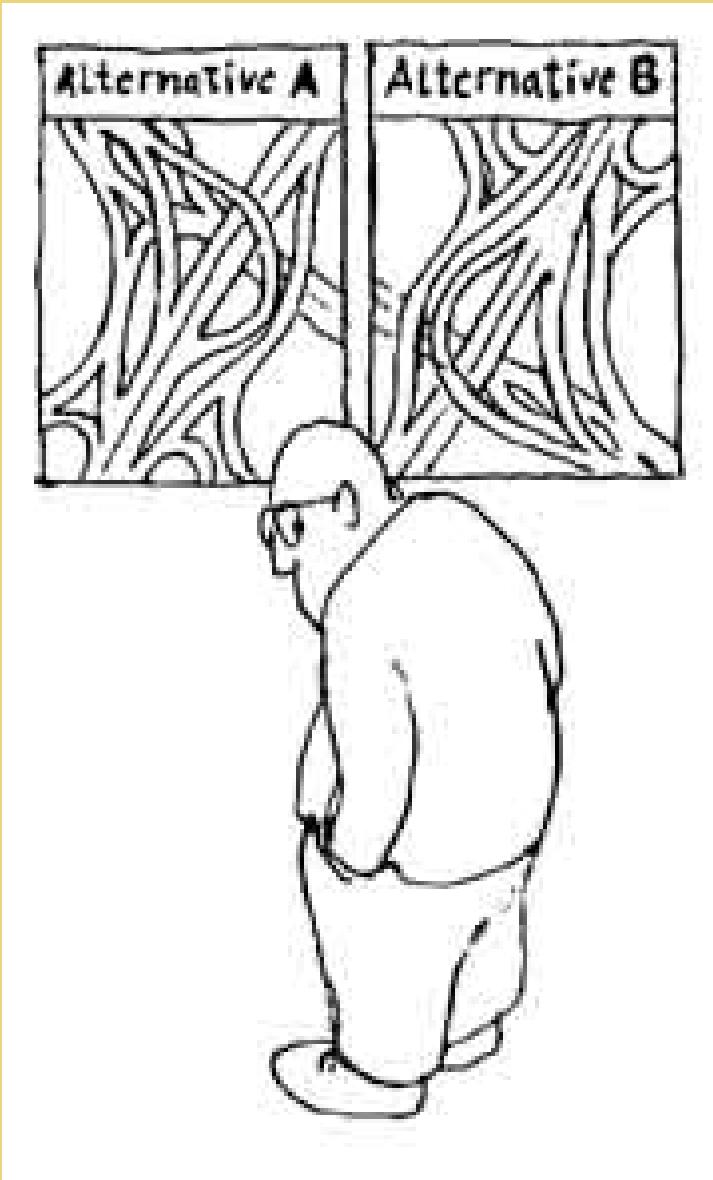


THE CHARETTE

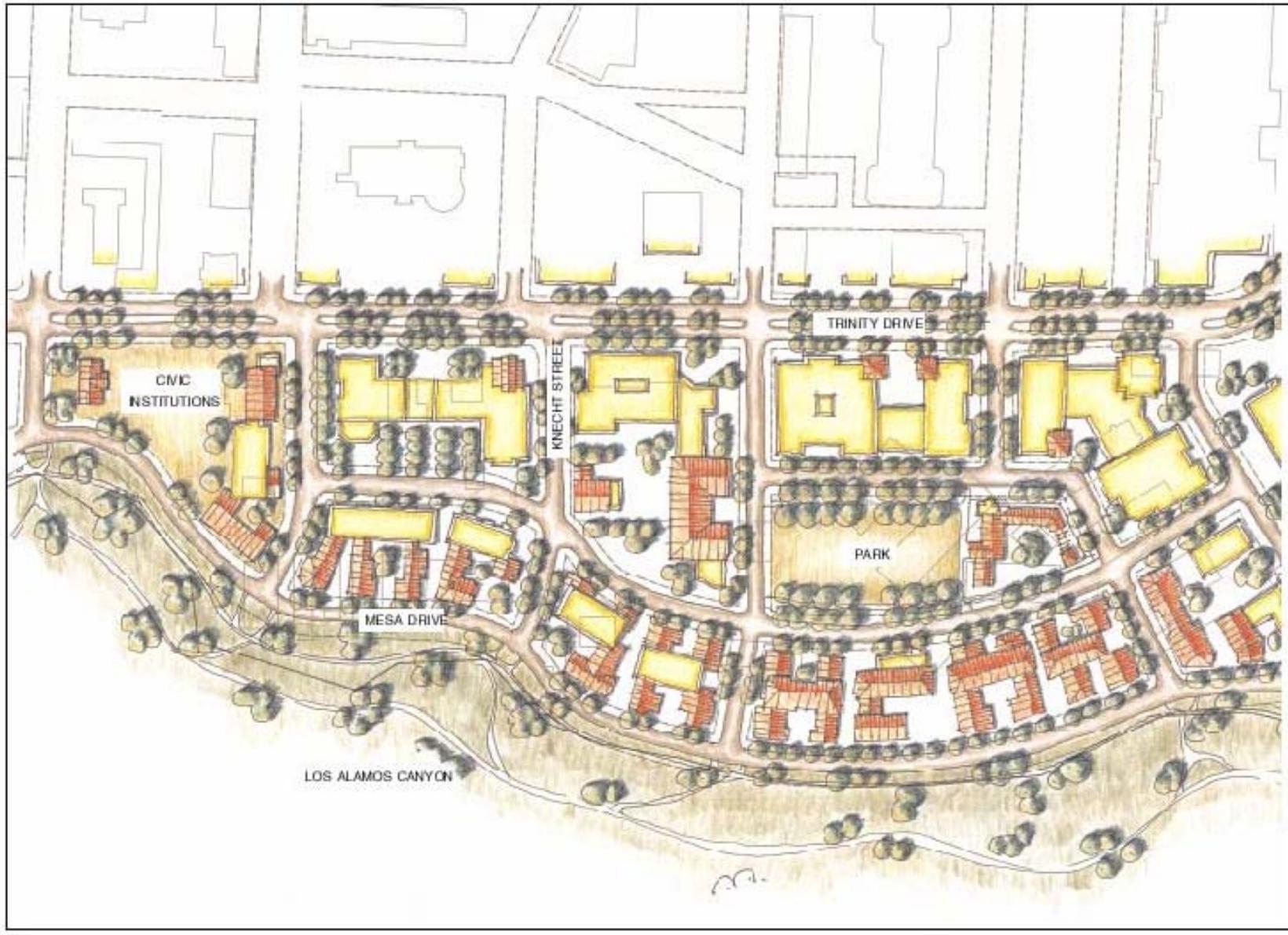
**THE LOCAL
CALIBRATION
OF
THE FORM-BASED
CODE**

THE CHARETTE - THE LOCAL CONDITION





**THE PUBLIC MUST BE
GIVEN *REAL*
ALTERNATIVES**



WITH ILLUSTRATIVE PLANS...



...AND EYE- LEVEL VIEWS OF WHAT IT WILL *LOOK* LIKE

studying the area



studying the area



**designing with
the citizens**



studying the area



**designing with
the citizens**



Hands-on design session



studying the area



**designing with
the citizens**



Hands-on design session



citizen presentations



designing in public



**designing with
the citizens**



Hands-on design session

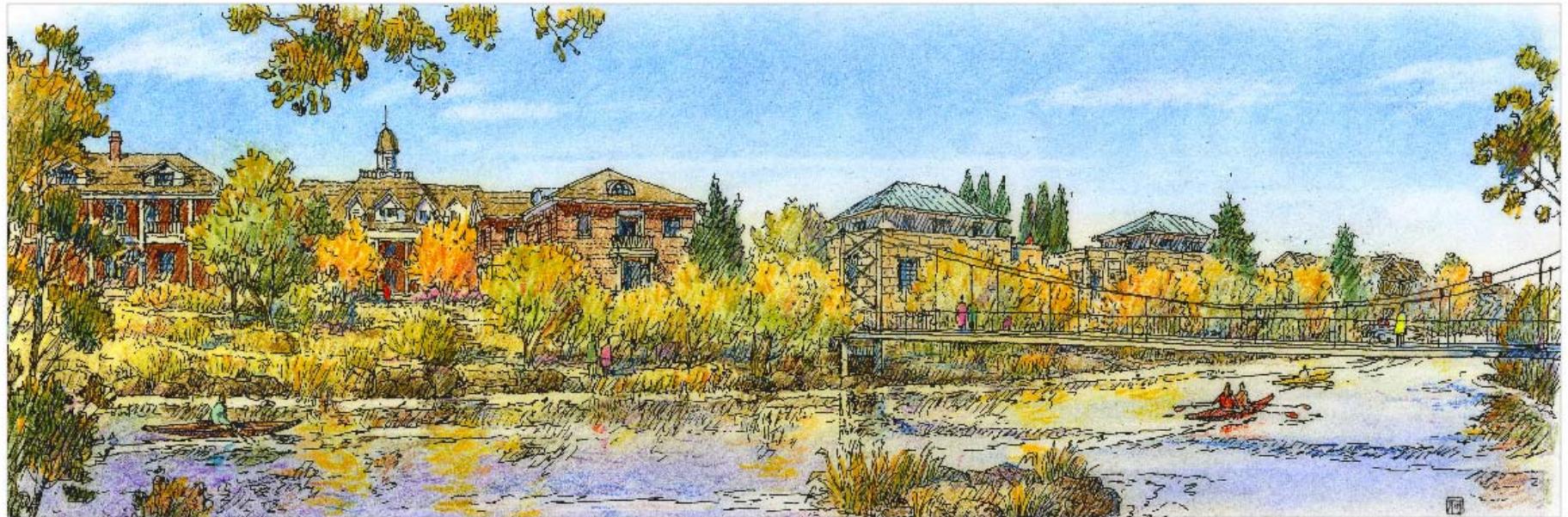


citizen presentations

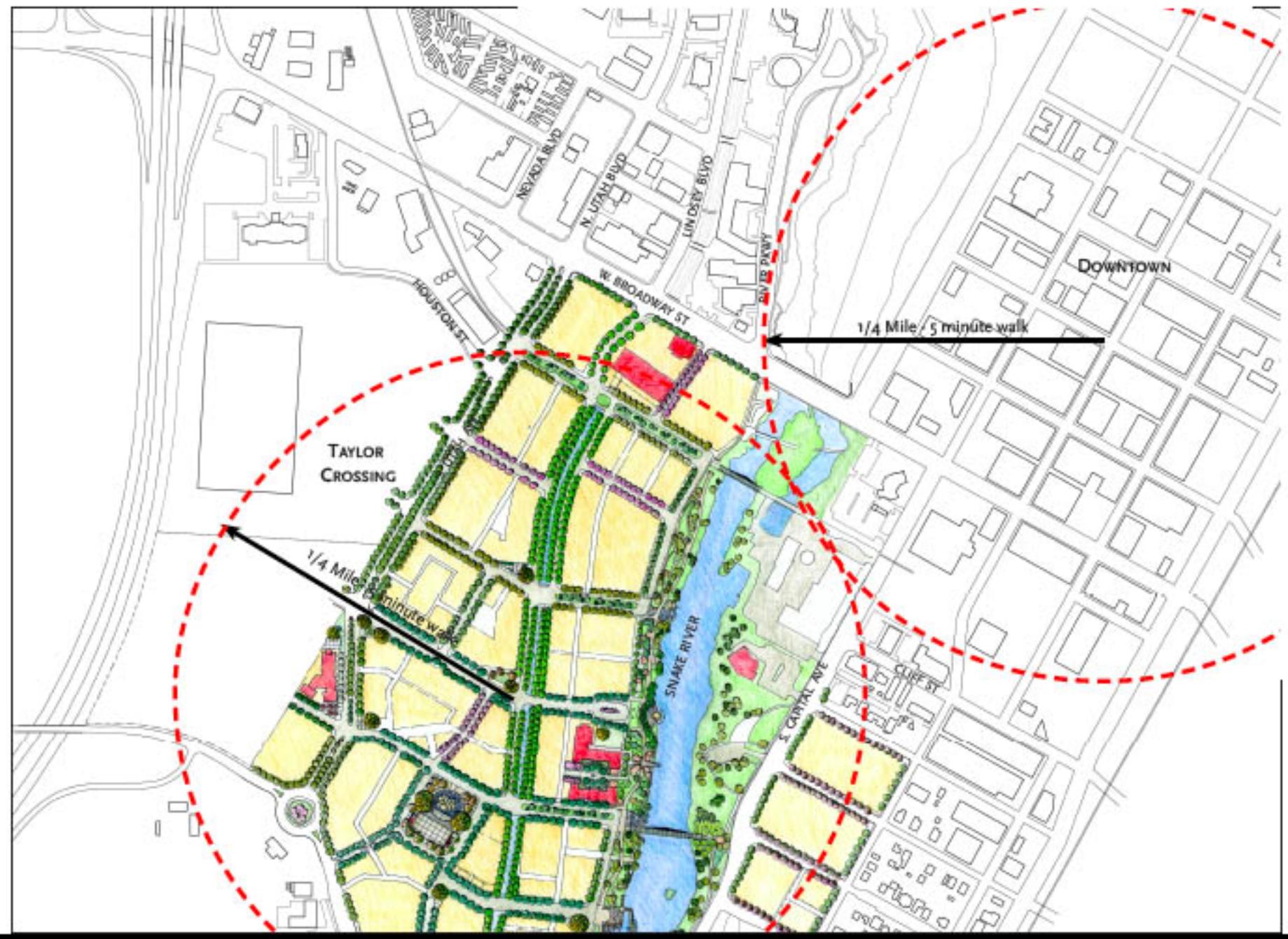


TAYLOR CROSSING MASTER PLAN

McNeil Development LLC
Idaho Falls, Idaho
March 15, 2006



Prepared by:
Moule & Polyzoides Architects and Urbanists



CHAPTER 3: THE CODE

3.1 - Applicability of Project Code

3.1.010 - Purpose

This Chapter of the Taylor Crossing Master Plan provides detailed regulations for development and land uses within the master plan area, and describes how these regulations will be applied. This Code is intended to provide for the continuing evolution of Taylor Crossing into a place where:

- A. A mixture of land uses where shops, workplaces, residences, and civic buildings are within walking distance of one another;
- B. Streets that are attractive to pedestrians and conveniently and efficiently accommodate the needs of cyclists and the automobile; and
- C. Buildings that work together to define the pedestrian-oriented space of the public streets within the district, and are harmonious with each other and the overall desired character of Taylor Crossing, as described in this master plan.

3.1.020 - Applicability of Development Code Standards

Proposed development and new land uses within the master plan area shall comply with all applicable requirements of this Code, as follows:

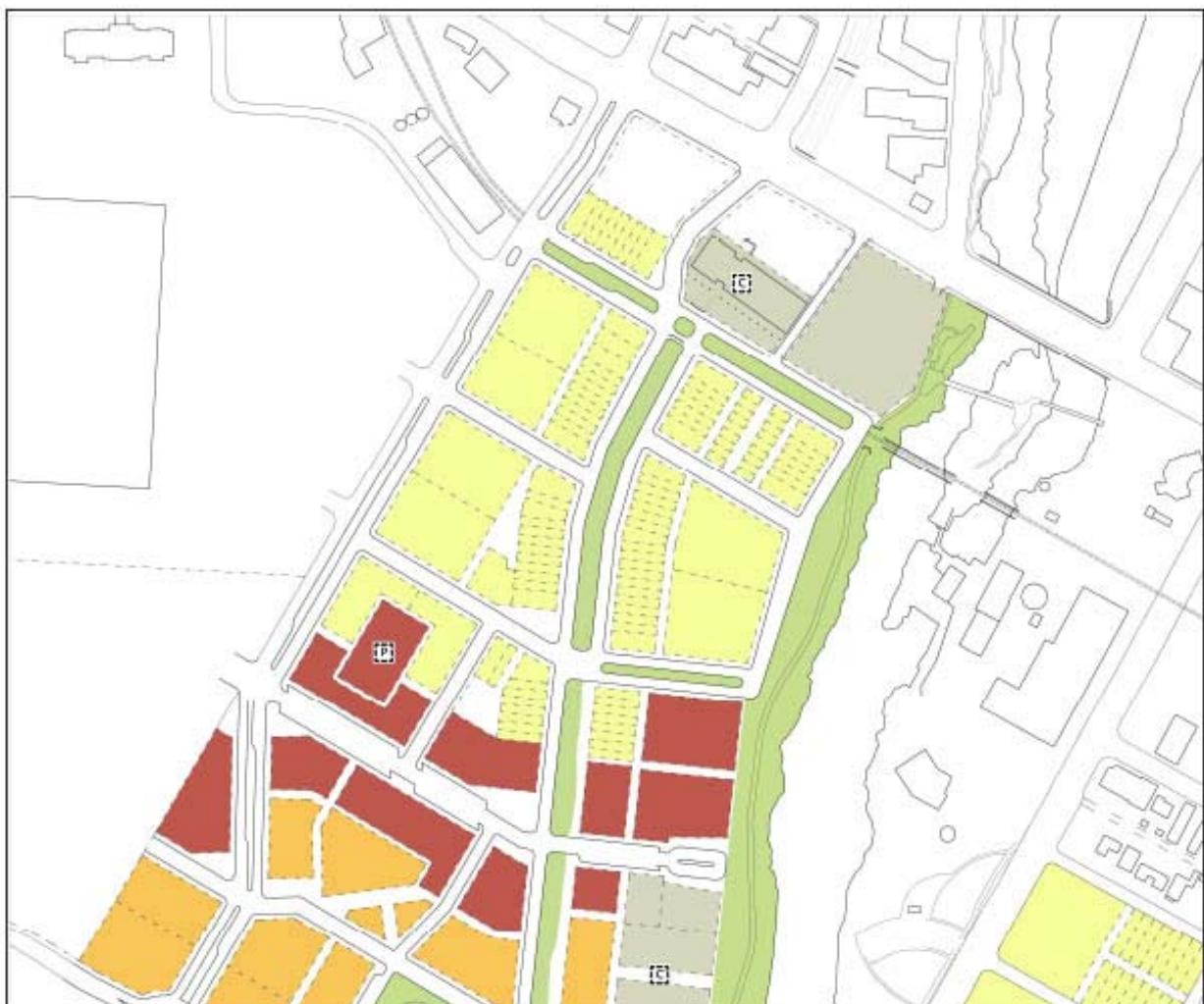
- A. Regulating Plan. The Regulating Plan defines the zones within the master plan area that differentiate standards for building placement, design, and use; and identifies the parcels included within each zone.
- B. Urban standards. The Urban Standards regulate the features of buildings that affect the public realm. The urban standards regulate building placement, height, and facade design, and vary according to the zone for the parcel applied by the Regulating Plan. Proposed development and land uses shall comply with all applicable standards.
- C. Land use standards. These standards identify the land use types allowed in each of the zones established by the Regulating Plan. Each parcel shall be occupied only by land uses identified as allowed within the applicable zone.

3.2 - Urban Standards

3.2.010 - Regulating Plan and Zones

- A. Purpose. This Section establishes the zones applied to property within the Master Plan area by the Regulating Plan. The Regulating Plan divides the Master Plan area into separate zones that are based on a transect of intensity that ranges from the most urban types of development and land use within the Master Plan area to the least urban types, with most of the zones providing for a significant mixture of land uses within them.

This approach differs from conventional zoning maps that typically divide cities into zones that rigidly segregate residential, commercial, industrial, and institutional uses into separate areas, and thereby require residents to drive or use public transportation for nearly all daily activities. The use of zones based on 'development intensity' instead of land use zones as the spatial



CHAPTER 3: THE CODE

3.2.020 - Town Center - 1 (TC-1) Zone

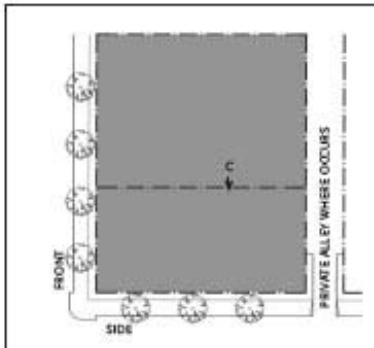
A. Intent



Illustrative Photo

The TC-1 zone is applied to the central portions of Taylor Crossing district appropriate for a wide range of land uses in buildings averaging 2.5 stories in height, with ground floor uses including retail, office, and restaurants, and upper floors accommodating commercial, offices or residential uses. Lodging, entertainment, and civic uses are also encouraged. Auto-oriented uses are not appropriate in this zone. Street frontages throughout this zone are pedestrian-oriented, and defined by nonresidential building facades at the back of the sidewalk. Off-street parking is to be provided in park once garages, or located away from street frontages behind buildings, but may also be located on side streets with appropriate landscape and screening from the street. Streetscapes are of urban character, and planted both to enhance the pedestrian experience and to contribute to the identity of the entire zone.

B. Building Placement



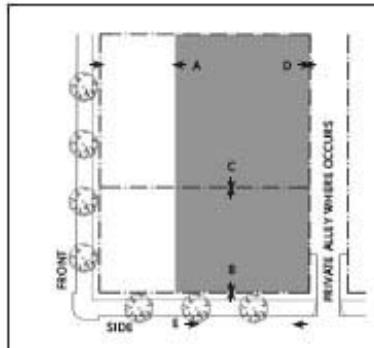
Plan Diagram

1. Setbacks

Buildings shall be placed within the shaded area as shown in the adjacent diagram.

- (a) Front Setback: 0' min - 5' max (for 90% of lot frontage)
- (b) Side Street Setback: 0' min - 5' max (for 90% of lot frontage)
- (c) Sideyard Setback: not required
- (d) Rear Setback: not required

C. Parking



Plan Diagram

1. Parking Placement

On-grade parking (enclosed or unenclosed) is allowed in the shaded area as shown in the adjacent diagram.

- (a) Front setback: 20% lot depth
- (b) Side street setback: 10' min
- (c) Side yard setback: not required
- (d) Rear setback: not required

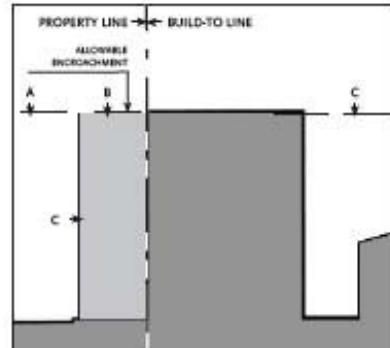
2. Parking Access

Vehicular access is permitted only from the alley or side streets.

3. Parking Requirements

Residential: 1.5 spaces / unit
Live/Work: 2 spaces / unit
Non-Residential: not required

D. Building Profile



Section Diagram

1. Building Height

- (a) Maximum height: 2.5 stories or 35'
- (b) Towers / Penthouses: an area equal to 10% of the building's ground floor footprint may exceed the height limit by 1 story or 12'

2. Encroachments

Awnings, gallery frontages, balconies, bay windows, signs, outdoor dining allowed by approval of the planning director.

3. Frontage Types (See Section 3.3.020 for definitions and design standards)

Arcade, Storefront

4. Architectural Types (See Section 3.3.010 for definitions and design standards)

Courtyard Housing
Live/Work
Commercial Block
Liner

CHAPTER 3: THE CODE

3.3.010 - Architectural Types

D. Rowhouse

An individual structure occupied by one primary residence or a structure of multiple townhouse unit types arrayed side by side.

1: Lot Width

- (a) Minimum: 25 ft

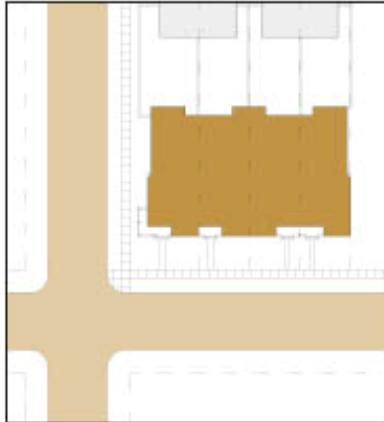
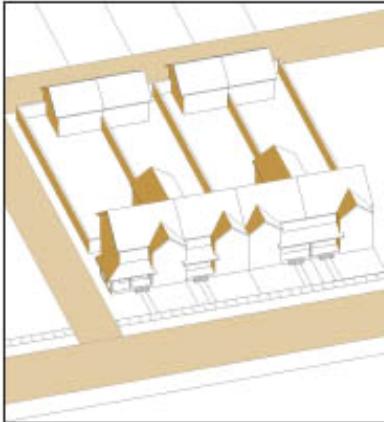
2: Access

(a) Standards

- i. The main entrance to each unit shall be accessed directly from and face the street.
- ii. Garages and services shall be accessed from an alley. This type is not allowed on a lot without an alley.

(b) Guidelines

N.A.



3: Parking

(a) Standards

- i. Required parking shall be in a garage, which may be attached to or detached from the dwelling.
- ii. Services, including all utility access, above-ground equipment, and trash containers, shall be located on an alley.

(b) Guidelines

N.A.



4: Open Space

(a) Standards

- i. Rear yards shall be no less than 15% of the area of each lot and of a regular geometry (e.g. rectangular).

(b) Guidelines

- i. Front yards are defined by the setback and frontage type requirements of the applicable zone.

5: Landscape

(a) Standards

- i. Landscape shall not be used to separate a front yard from front yards on adjacent parcels. Front yard trees, if provided, shall be of porch scale (no more than 1.5 times the height of the porch at maturity) except at the margins of the lot, where they may be of house scale (no more than 1.5 times the height of the house at maturity).



- ii. At least one large tree shall be provided in each rear yard for shade and privacy.

(b) Guidelines

N.A.

6: Frontage

(a) Standards

- i. Each rowhouse ground level shall be designed so that living areas (e.g., living room, family room, dining room, etc.), rather than sleeping and service rooms, are oriented toward the fronting street and/or to the courtyard.

- ii. Frontage types that provide a transition from public to private, indoor to outdoor at the main entrance to each dwelling are required. Porches, dooryards and stoops are preferred types.

- iii. The applicable frontage requirements apply per Section 3.3.020.

(b) Guidelines

- i. See the requirements of the applicable zone for allowed encroachments into required setbacks.

7: Building Size and Massing

(a) Standards

- i. Buildings shall be composed of 2- and/or 3-story volumes in compliance with the regulations for the applicable zone.

- ii. Buildings on corner lots shall be designed with two front facades.

- iii. Each rowhouse building shall maintain setbacks from property lines on at least 2 sides, with as much direct access to yards as possible.

(b) Guidelines

- i. In a 3-story building, a townhouse dwelling may be stacked over a ground floor flat. In this case, the flat shall be accessed by its own front door at the frontage, and the townhouse dwelling shall be accessed by a separate front door and a stair.

8: Accessory Dwellings

These may be allowed over garages

CHAPTER 3: THE CODE

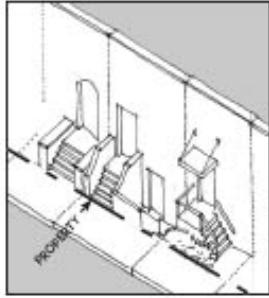
3.3-020 • Frontage Types

- A. Purpose. This Chapter identifies the frontage types allowed within the Specific Plan area, and for each type, provides a description, a statement as to the type's intent and, design standards, to ensure that proposed development is consistent with the goals for building form, character, and quality within Taylor Crossing.
- B. Applicability. The provisions of this Chapter work in combination with the underlying Zone as identified on the Regulating Plan.
- C. Allowable Frontage types by zone. Each Zone identifies the Frontage Types allowed and refers to this Chapter for the appropriate information.
- D. Definitions and Standards

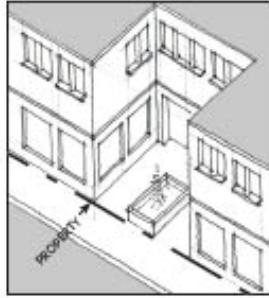
Frontyard / Porch



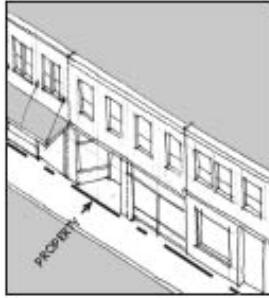
Stoop



Forecourt



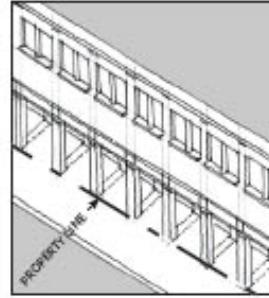
Storefront



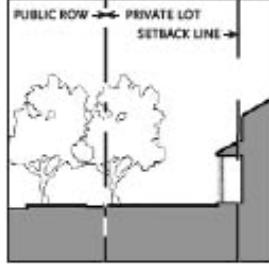
Gallery



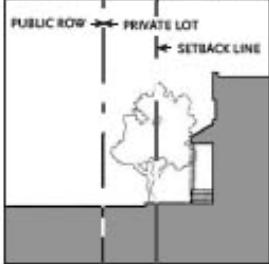
Arcade



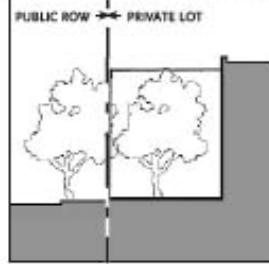
Frontyard / Porch : Diagram



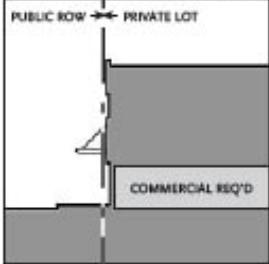
Stoop : Diagram



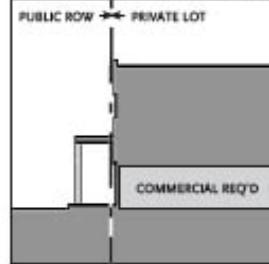
Forecourt : Diagram



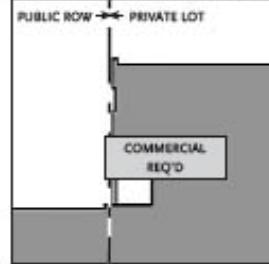
Storefront : Diagram



Gallery : Diagram



Arcade : Diagram



A. Site

Sites larger than 2 acres shall be subdivided further to create additional blocks.

B. Introduce Streets

Sites being subdivided into additional blocks shall introduce streets from the list of allowable thoroughfare types (see pages 2:33 - 2:40) and comply with the block-size requirements in section 3.4.030.

C. Introduce Alleys

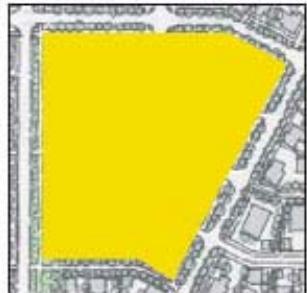
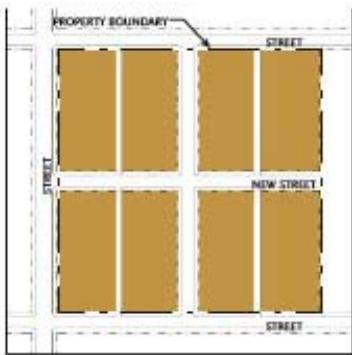
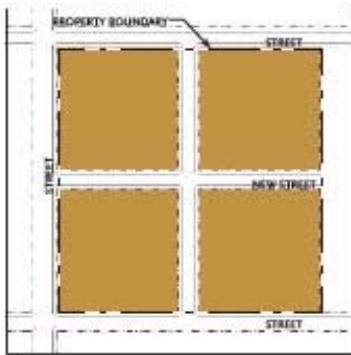
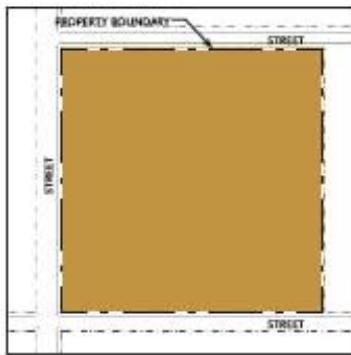
Access to blocks and their individual parcels is allowed only by alley/lanes, side street or, in the case of residential development, via small side drives accessing multiple dwellings. The intent is to maintain the integrity and continuity of the streetscape without interruptions such as driveway access. Therefore, although residential development allows minor interruptions along the primary frontage, the introduction of rear service thoroughfares such as alleys and lanes is required.

D. Introduce Lots

Based on the type(s) of blocks created and the thoroughfare(s) that they front, lots (parcels) are introduced on each block to correspond with the allowable building types in Chapter 3.3.010.

E. Introduce Projects

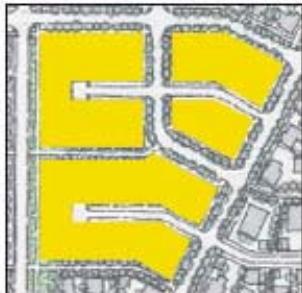
Each lot is designed to receive a building per the allowable building types identified in Chapter 3.3.010 and can be arranged to suit the particular organization of buildings desired for each particular block. The allowable building types then are combined with the allowable frontage types in Chapter 3.3.020 per the zone (Chapters 3.2.020 - 3.2.040) in which the lot is located to generate a particular neighborhood form and character.



Site to be subdivided: Illustrative Diagram



Introduce Streets: Illustrative Diagram



Introduce Alleys: Illustrative Diagram



Introduce Lots: Illustrative Diagram



Introduce Projects: Illustrative Photo

Heart of Peoria

Land Development Code



Prepared by
Ferrell Madden Associates
Code Studio

2.0 Administration

2.1 REVIEW BODIES

2.1.1 Summary of Review Authority

The following table summarizes the required review and approval authority provided under this development code.

Procedure	Zoning Administrator	Site Plan Review Board	Planning Commission	Zoning Commission	Zoning Board of Appeals	City Council	Reference
Zoning Compliance Certificates	O	R					2.2
Certificate of Occupancy	O						2.3
Administrative Deviation	O						2.4
Uses Permitted with Administrative Approval	O						2.5
Minor Variations without Site Plan Review	O						2.6
Minor Variations with Site Plan Review	O	R					2.6
Major Variations without Site Plan Review	R				<D>		2.6
Major Variations with Site Plan Review	R	R			<D>		2.6
Appeals					<D>		2.7
Amendments	R	R		<R>		<D>	2.8
Special Use	R	R		<R>		<D>	2.9
Official Development Plan	R	R		<R>		<D>	2.10
Critical Traffic Management Areas	R	R			<D>		2.11
Traffic Impact Analysis	R	R				R	2.12
Subdivision Plat (with Waiver)	R		<R>			<D>	2.13
Subdivision Plat (without waiver)	O						2.13
Tract Survey	O						2.13
Multifamily Plan			<R>			<D>	2.13
Certificate of Appropriateness (oNC only)	R	R		<D>			7.1

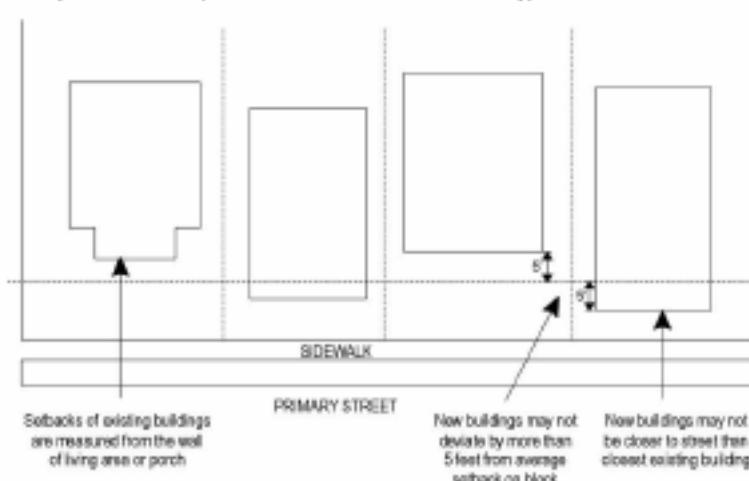
KEY: R = Review or Recommendation O = Final Decision <D> = Public Hearing

4.1.5 Design Standards

The following standards apply to all new development in the R1, R2, R3, and R4 Districts.

A. Setbacks

Front and side setbacks shall be established within five feet of the average of the existing setbacks on the subject residential block face. In no case shall a building be located closer to the street than the closest existing building on the residential block face. Where the existing setbacks are greater than the requirements of 4.1.4, new houses shall conform to the existing pattern.



B. Building Height

1. The height of new houses and additions to existing houses shall be limited to two and one half habitable stories (two floors plus a smaller living space within the roof volume), except on block faces where the majority of houses have more than two and one half habitable stories. In such cases, new buildings shall not exceed the average number of floors of other houses (rounded up to the nearest half story).
2. Roof height and building profile for new buildings shall seek to be compatible with adjacent structures. On blocks with predominantly single-story houses, new houses shall respect this pattern. Any additional floors may occur to the rear of the house where they will be less noticeable from the street.

C. Porches

1. On blocks where the majority of existing houses have front porches, new houses shall have front porches consistent with the architectural style of the house at the main entrance from the street.
2. Existing porches must be retained when houses are remodeled. For houses where original porches have been removed, major remodeling projects shall replace the porch. Major remodeling projects for the purposes of this section shall include the following: room additions, story additions and roof structure removals and replacements.
3. New porches shall be at least six feet in depth.

Pedestrian Frontage (CN, CG)

HEIGHT



Building Height

- In the CN District, a principal building shall be no greater than 2 stories.
- In the CG District, a principal building shall be no greater than 4 stories.

Parking Structure Height

Where a parking structure is within 40 feet of any principal building (built after 2006) that portion of the structure shall not exceed the building's eave or parapet height.

Ground Story Height: Commerce Uses

- The ground story finished floor elevation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of 18 inches above the sidewalk.
- The ground story shall have at least 12 feet of clear interior height (floor to ceiling) contiguous to the required building line frontage for a minimum depth of at least 25 feet.
- The maximum story height for the ground story is 20 feet.

Ground Story Height: Residential Units

- The finished floor elevation shall be no less than 3 feet and no more than 7 feet above the exterior sidewalk elevation at the required building line.
- The first story shall have an interior clear height (floor to ceiling) of at least 9 feet and a maximum story height of 17 feet.

Upper Story Height

- The maximum floor-to-floor story height for stories other than the ground story is 12 feet.
- At least 50% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.

Mezzanines

Mezzanines having a floor area greater than 10% of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

Street Wall Height

A street wall not less than 3 feet in height or greater than 8 feet in height shall be required along any required building line frontage that is not otherwise occupied by the principal building on the lot (the height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete).

Other

Where a site is located within 40 feet of an existing single-family residential zoning district, the maximum eave or parapet height for that portion of the site shall be 32 feet.



Street Façade

- On each lot the building façade shall be built to the required building line for at least 80% of the required building line length along a primary street, and 40% along any side street.
- The building façade shall be built to the required building line within 30 feet of a block corner.
- These portions of the building façade (the required minimum build-ups) may include jogs of not more than 18 inches in depth except as otherwise provided to allow bay windows, shopfronts, and balconies.

Buildable Area

- Buildings may occupy any portion of the lot behind the required building line, exclusive of any setbacks required by this development code. The maximum ground floor area for a building within the CN District shall be 15,000 square feet, and within the CG District, 80,000 square feet.
- A contiguous open area equal to at least 5% of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.

Side Lot Setbacks

On a lot where a common lot line is shared with a property located within a single-family residential zoning district, the principal building shall be set back at least 10 feet from the shared lot line.

Garage and Parking

- Gauge entries or driveways shall be located at least 75 feet away from any block corner or another garage entry on the same block.
- Gauge entries shall have a clear height of no greater than 16 feet and a clear width of no greater than 24 feet.
- Vehicle parking areas on private property shall be located behind the parking setback line, except where parking is provided below grade. These requirements are not applicable to on-street parking.

Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of 25 feet from the rear lot line.

Unbuilt Required Building Line and Commerce Lot Line Treatment

- A street wall shall be required along any required building line frontage that is not otherwise occupied by a building. The street wall shall be located not more than 8 inches behind the required building line.
- Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.
- Where a site abuts a residential property, a garden wall, 4 to 6 feet in height, shall be constructed within 1 foot of the R-4 property line.

Pedestrian Frontage (CN, CG)

ELEMENTS



Fenestration

- Blank lengths of wall exceeding 20 linear feet are prohibited on all required building lines.
- Fenestration on the ground story facades shall comprise at least 40%, but not more than 90%, of the facade area situated between 2 and 10 feet above the adjacent public sidewalk on which the facade fronts.
- Fenestration on the upper story facades shall comprise at least 20%, but no more than 60%, of the facade area per story (measured as a percentage of the facade between floor levels).
- No window may face or direct views toward a common lot line within 30 feet unless that view is contained within the lot (e.g. by a privacy fence/garden wall) or, the sill is at least 6 feet above the finished floor level.

Building Projections

- Balconies and stoops shall not project closer than 5 feet to a common lot line.
- No part of any building, except overhanging eaves, awnings, balconies, bay windows, stoops, and shopfronts as specified, shall extend beyond the required building line.
- Awnings shall project a minimum of 6 feet and a maximum of within 1 foot of back of curb (where there are no street trees) or 1 foot into the tree lawn (where there are street trees).
- Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least 10 feet except as otherwise provided for signs, street lighting and similar appurtenances.
- Awnings may have supporting posts at their outer edge provided that they:
 - Have a minimum of 8 feet clear width between the facade and the support posts or columns of the awnings.
 - Provide for a continuous public access easement at least 4 feet wide running adjacent and parallel to the sidewalk cover columns/posts.

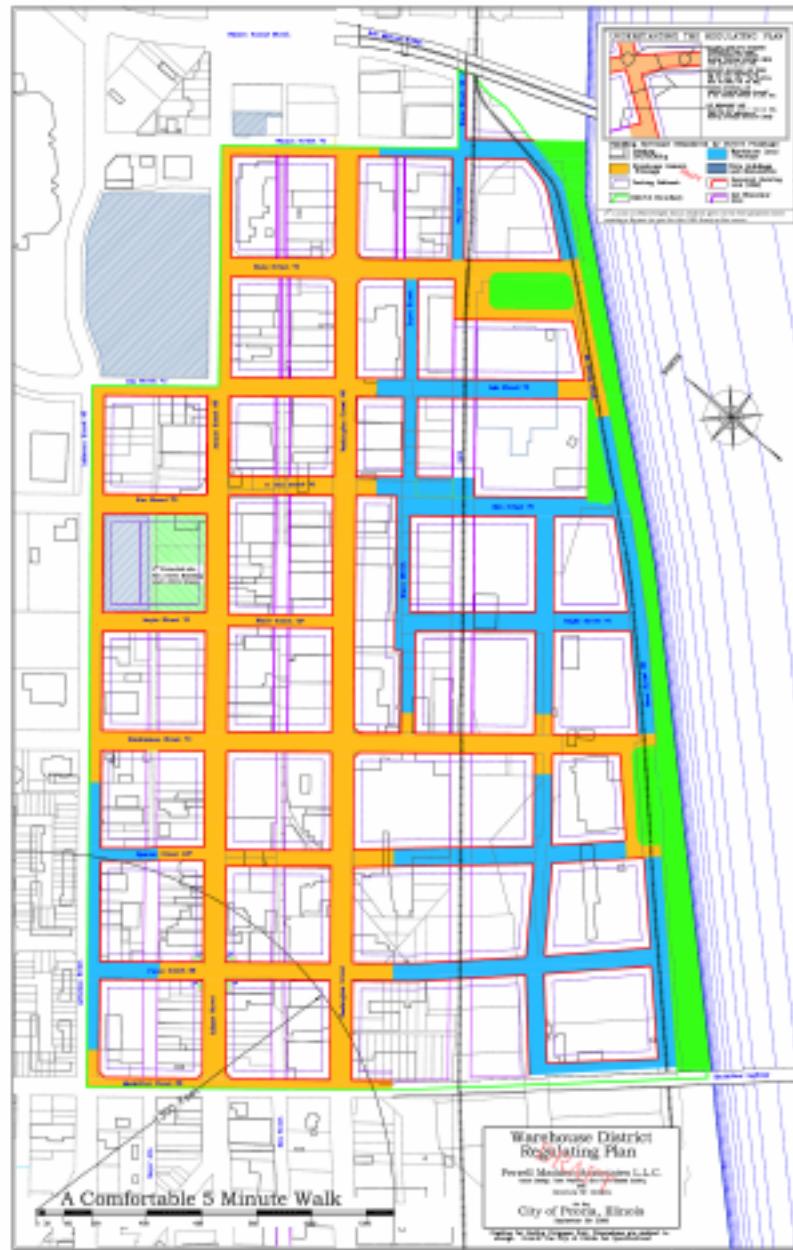
Doors/Entries

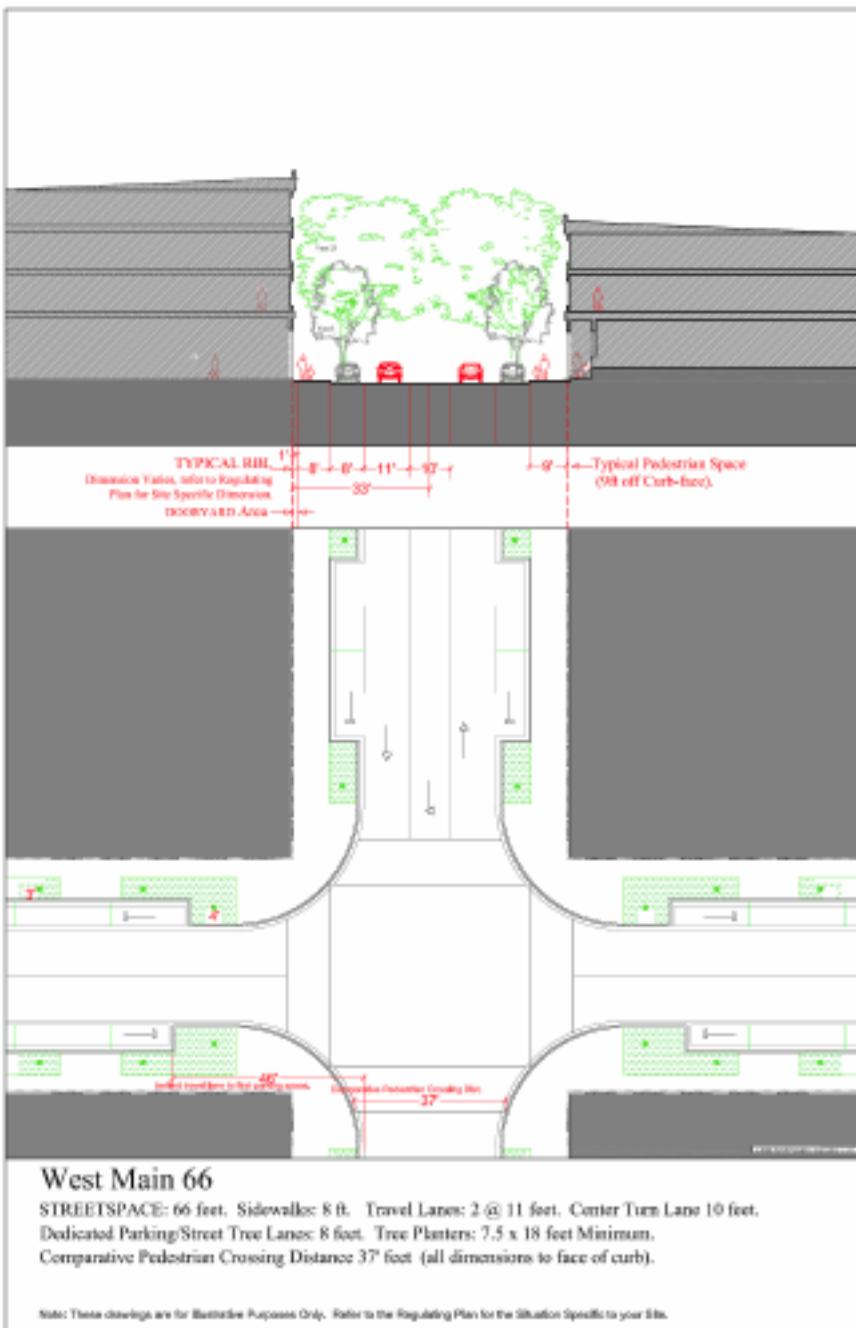
Fondue entry doors shall be provided along ground story facades at intervals not greater than 75 linear feet.

Street Walls

A vehicle entry gate no wider than 18 feet or a pedestrian entry gate no wider than 6 feet shall be permitted within any required street wall.

6.5 WAREHOUSE DISTRICT



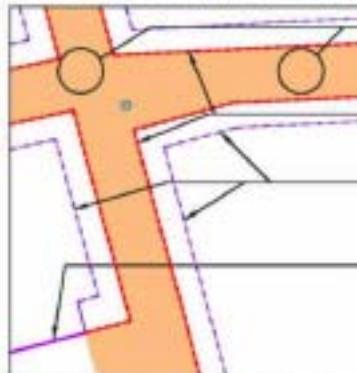


5.2.2 Permitted Use Table

USE CATEGORY	SPECIAL USE	KEY:										Use Standard					
		R1	R2	R3	R4	R5	R6	R7	R8	ON	OS	S1	H1	H2	H3	H4	
RESIDENTIAL																	
	Single Family	■	■	■	■	■	■	■	■								
	Two-Family (Duplex)	■	■	■	■	■	■	■	■								5.3.1A
	Townhouse																
	Accessory																
	Lower Story Residential																
	Use-Work																5.3.1B
	Residence House, Residential House																
	Chaplain House																
	Emergency Housing																
	Mobile Homes, Assisted Living Facility																
	Fraternity, Sorority, Student Residence																
	Family Daycare	■	■	■	■	■	■	■	■								5.3.1C
	Group Care Facility	■	■	■	■	■	■	■	■								5.3.1D
	Mosque, Convent																
	Nursing Home, Full-Time Residential, Hospice,																
	Life Care Center																
	Single Room Occupancy																
CIVIC																	
	Museum, Library	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Neighborhood Arts Center or Similar Community Facility (public)	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Petroleum Installation																
	Police, Fire, EMS Substation	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	All day care, except as listed below:	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Child Care Home (up to 5)	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	5.3.1E
	Day Care Center (5+)	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	5.3.1F
	Supplies Child Care Center																
	All educational facilities, except as listed below:	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Academy, Vocational Institute																
	College, Community College, University																
	Job Training, Vocational Rehabilitation Service																
	School, Vocational, Business																
	School, Trade, no heavy equipment or truck operators																
	All medical facilities, except as listed below:																
	Hospital, Medical Center																
	Medical or Dental Laboratory																
	Medical or Dental Clinic, Rehabilitation Clinic																
	Medical, Dental Office or Clinic Doctor																
	All parks and open areas, except as listed below:	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	County, Municipal, Conservation, Memorial Park	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Parks																
	Game Preserve, Wildlife Management Area, Refuge, Animal Sanctuary																
	Airport, Helipad																
	Bus, Train Passenger Terminal																
	Taxicab Dispatch Station, Limousine Service, Charter Service																
	All places of worship	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	
	Abused Abuse Treatment, Drug Rehabilation																
	Alcohol House, Transitional Home																5.3.1G
	Psychiatric Institution, Sanatorium																
	Social Service Facility, Soup Kitchen, Transient Lodging or Shelter for the Homeless																
Utilities	Minor Utilities	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	5.3.1H
	Major Utilities																
	Wireless Communication Facility																5.3.1I

5.3.2.20

UNDERSTANDING THE REGULATING PLAN



BUILDING ENVELOPE STANDARD DESIGNATION (see below)
This indicates the relevant Building Envelope Standard (BES) rules governing your site.

REQUIRED BUILDING LINE (RBL)
The red line indicates the RBL for your site. The Building shall be BUILT-TO the RBL.

PARKING SETBACK LINE
Vehicle Parking (Above Ground) is not allowed forward of this line.

LOT BOUNDARY LINE
Building Area Limit – not an RBL. Refer to the appropriate Building Envelope Standards (BES).

Building Envelope Standards by Street Frontage

	Existing Lot/Building		Neighborhood (R-4)
	Neighborhood Center Frontage		Local Frontage
	Parking Setback		Required Building Line (RBL)
	Lot Boundary		Civic Buildings and Monuments

Properties are coded by their street frontage

B. Building Envelope Standards

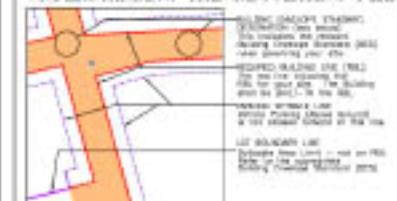
- The building envelope standards establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and certain required or permitted building elements, such as shopfronts, doors, windows, balconies, and street walls. The building envelope standards establish both the boundaries within which things may be done and specific things that must be done. The applicable building standard for a lot or parcel is determined by its street frontage, as designated on the regulating plan. The building envelope standards also include broad parameters for use.
- The intent of the building envelope standards is to shape vital public space throughout each Form District through placement and envelope controls on buildings that frame the street-space. The standards aim for the minimum level of control necessary to meet that goal.

C. Architectural Standards

The goal of the architectural standards is to promote a coherent and pleasing architectural character that is complementary to the best regional traditions. The standards govern a building's architectural elements regardless of its building envelope standard and set the parameters for allowable materials, configurations, and construction techniques. Equivalent or better products than those specified are always encouraged and may be submitted for approval to the City.

6.2 SHERIDAN TRIANGLE

UNDERSTANDING THE REGULATING PLAN



Building Envelope Standards by Street Frontage

	Existing Lot/Building		Neighborhood (R-4)
	Neighborhood Center Frontage		Local Frontage
	Parking Setback		Required Building Line (RBL)
	Lot Boundary		Civic Buildings and Monuments

Sheridan Triangle Regulating Plan

Ferrell Madden Associates L.L.C.
DRAFT
Urban Design, Architecture, and Form-Based Coding

Keith Covington

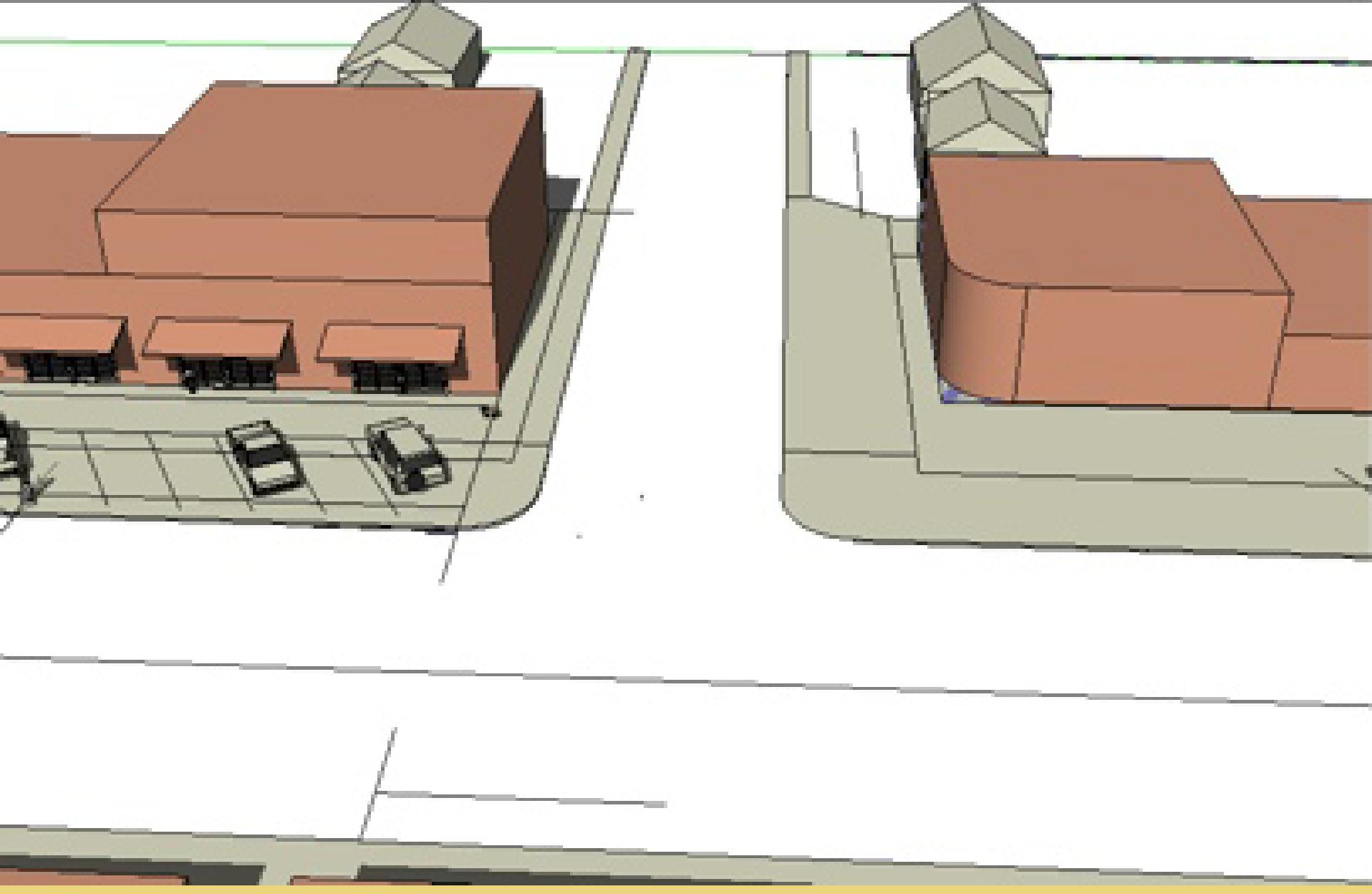
City of Peoria, Illinois

September 6th, 2006

Starting for Zoning Purposes Only. Dimensions are subject to change. Consult the City of Peoria for Site Specific Requirements.













Urban*Advantage*



Urban*Advantage*

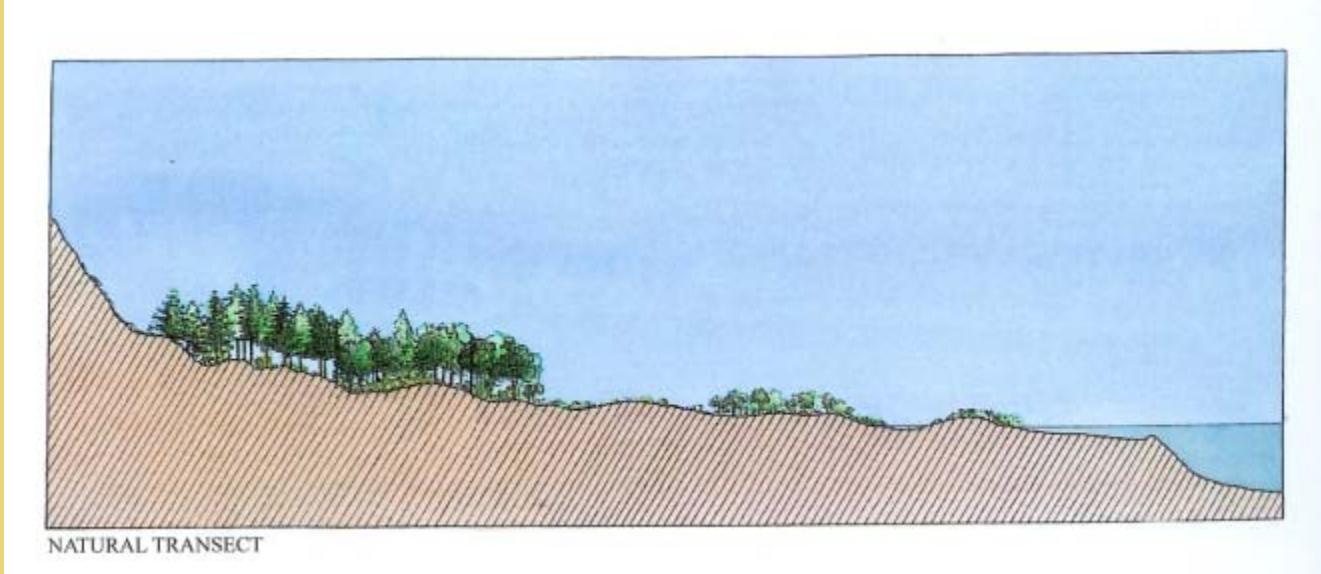


Urban*Advantage*

Form-based Code Resources

- Form-based Codes 101 Workshop
 - February 21-22, 2007 in Phoenix, AZ
- Form-based Codes Institute
 - www.formbasedcodes.org

The SmartCode Features

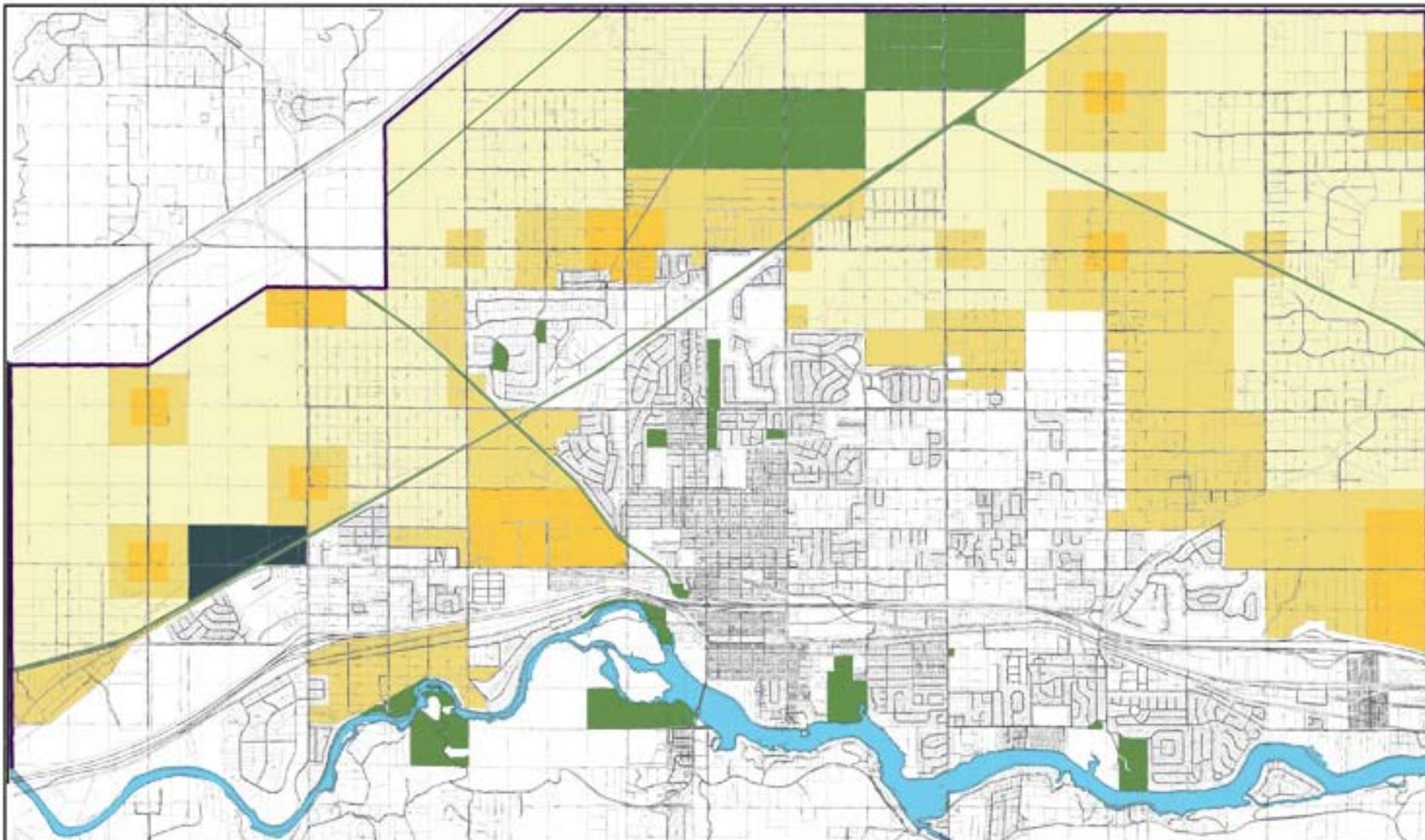


Governs Form Along the Transect
Utilizes Both Text and Tables

Post Falls, Idaho

SmartCode

Mandatory / Optional SmartCode



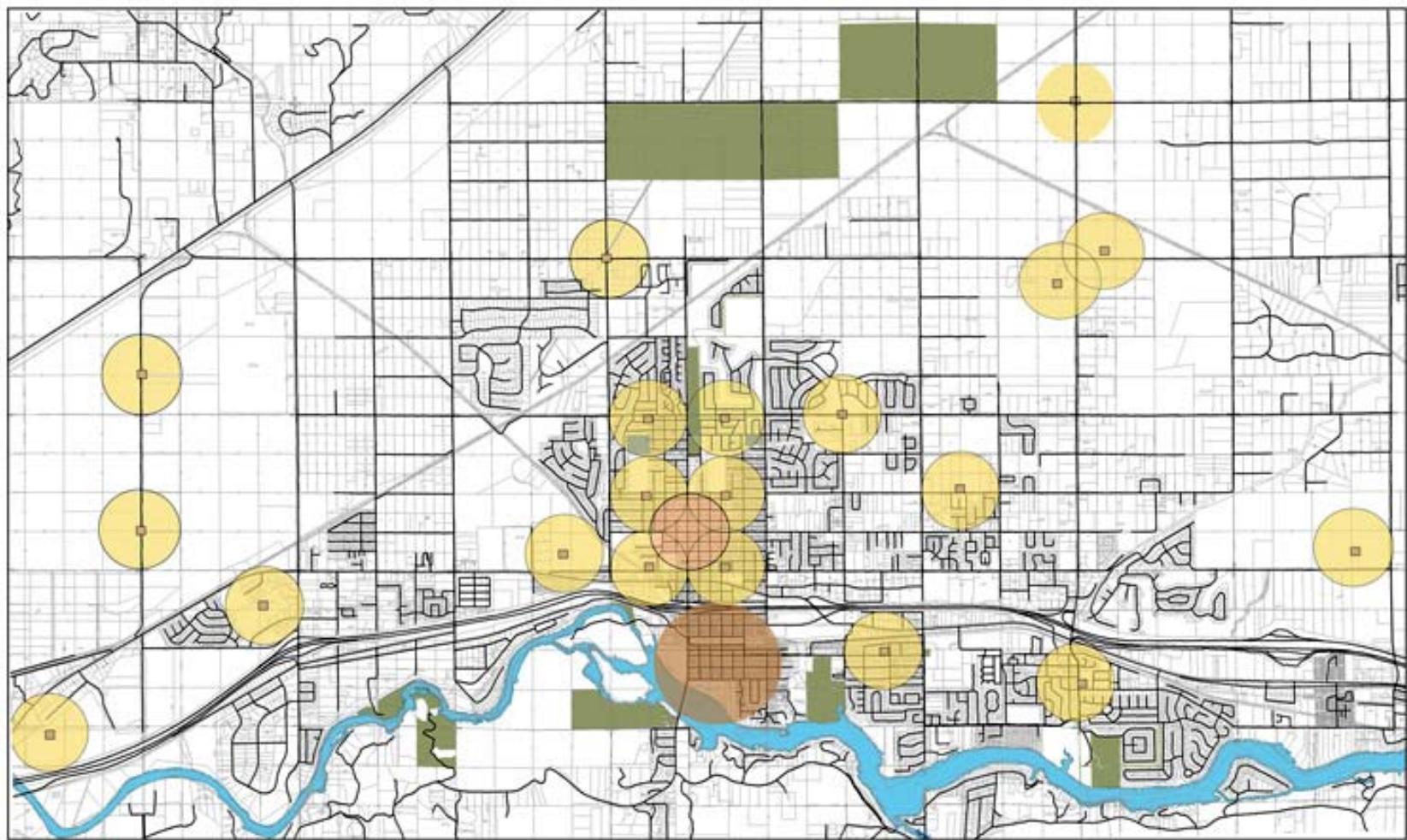
O1

O2/G1

G2

G3

G4



CITY CENTER



TOWN CENTER



NEIGHBORHOOD
CENTER

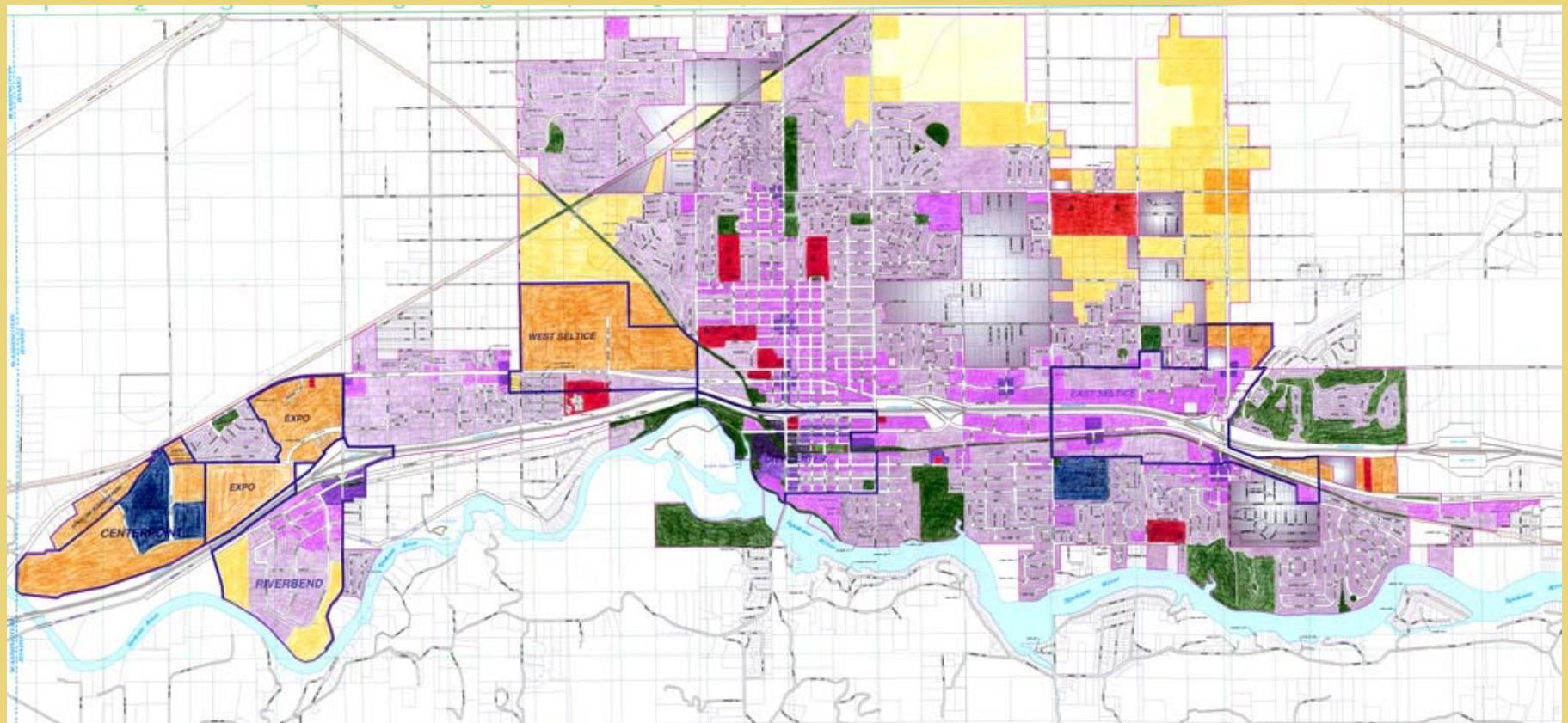


PUBLIC LANDS

Post Falls, Idaho

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Overall Regulating Plan



Post Falls, Idaho

SmartCode

Regulating Plan



Post Falls, Idaho

SmartCode



T1 – Natural Zone



T2 – Rural Zone

Post Falls, Idaho

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T3 – Sub-Urban



T4 – General Neighborhood



Post Falls, Idaho

SmartCode



T5 – Urban Center



T6 – Downtown Core

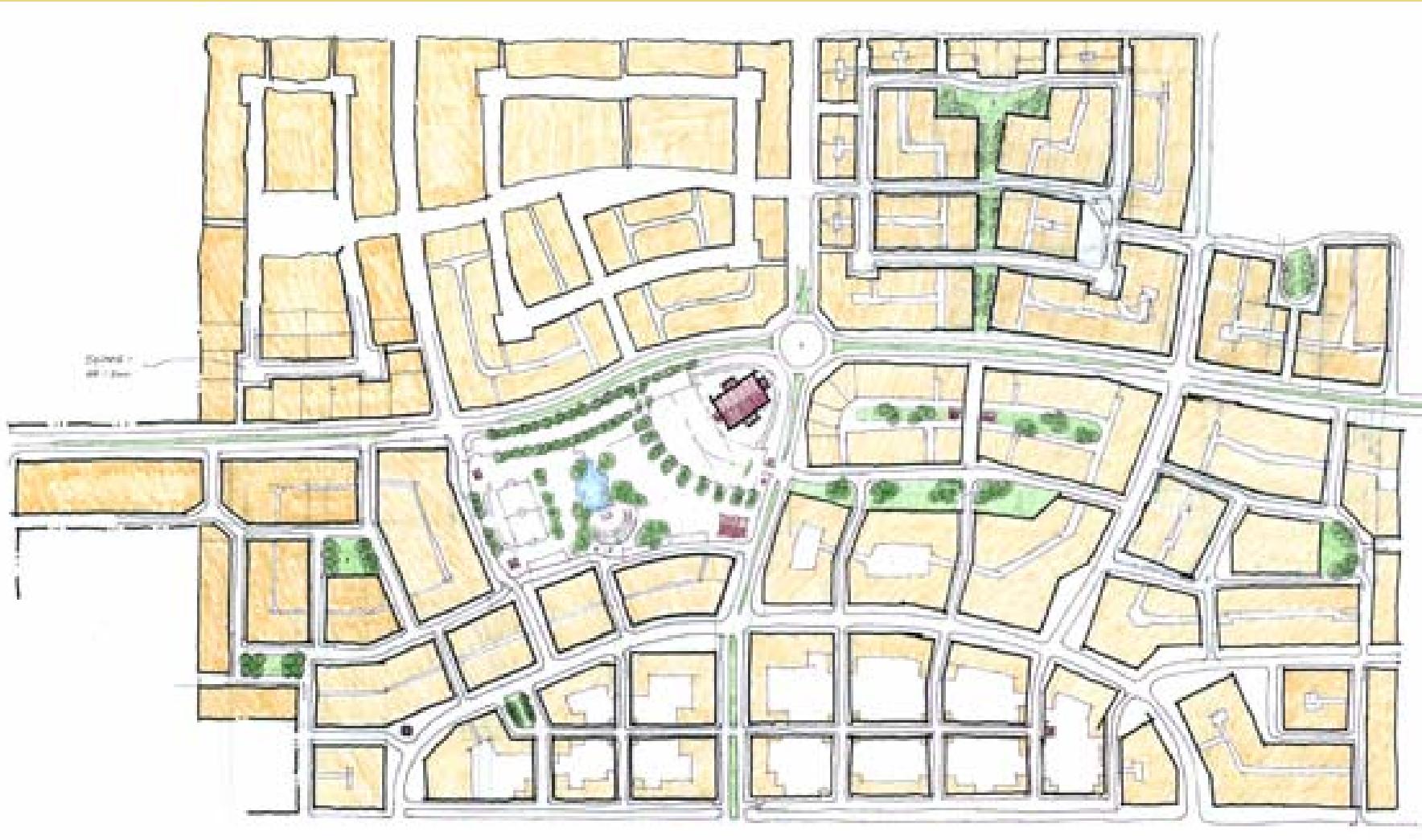
Post Falls, Idaho

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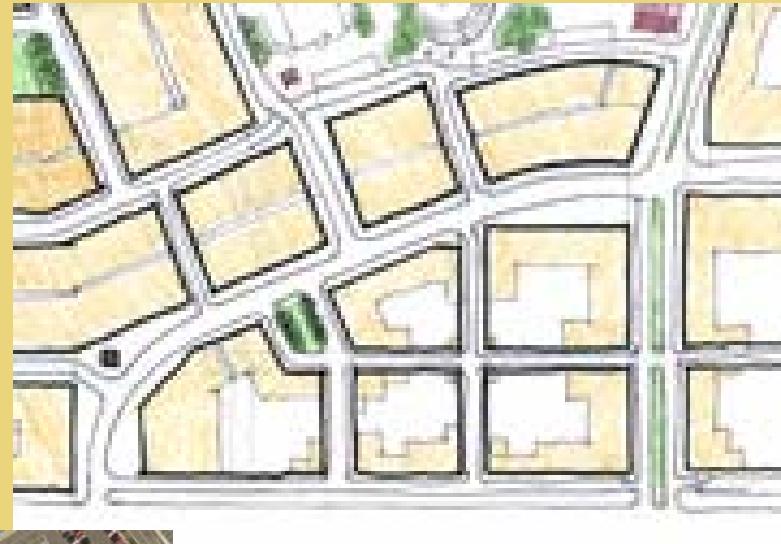
Post Falls, Idaho

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Post Falls, Idaho

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Post Falls, Idaho

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Post Falls, Idaho

SmartCode



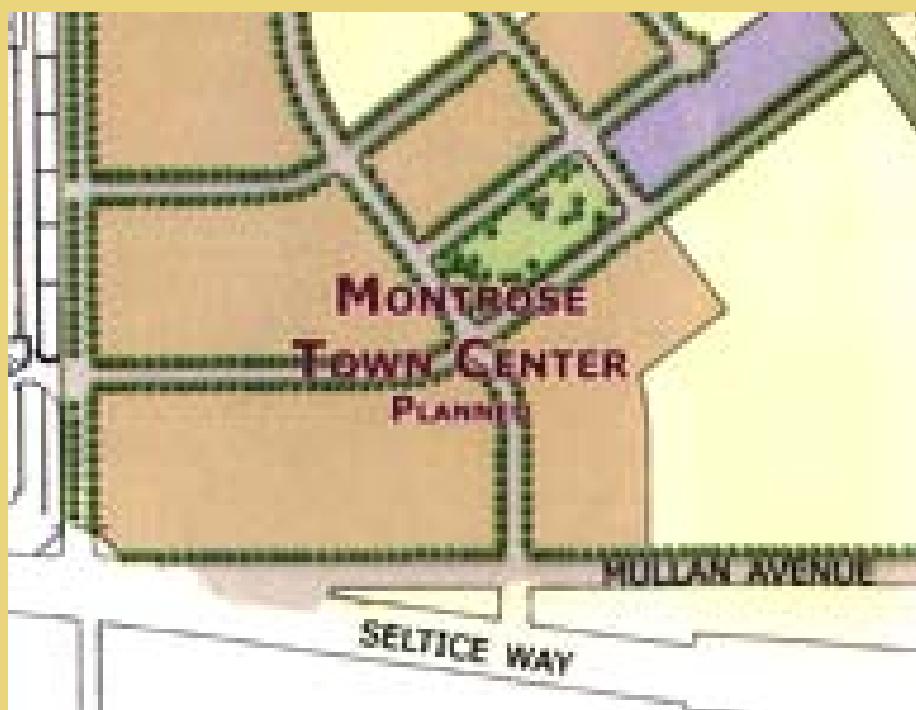
Post Falls, Idaho

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Post Falls, Idaho

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Post Falls, Idaho



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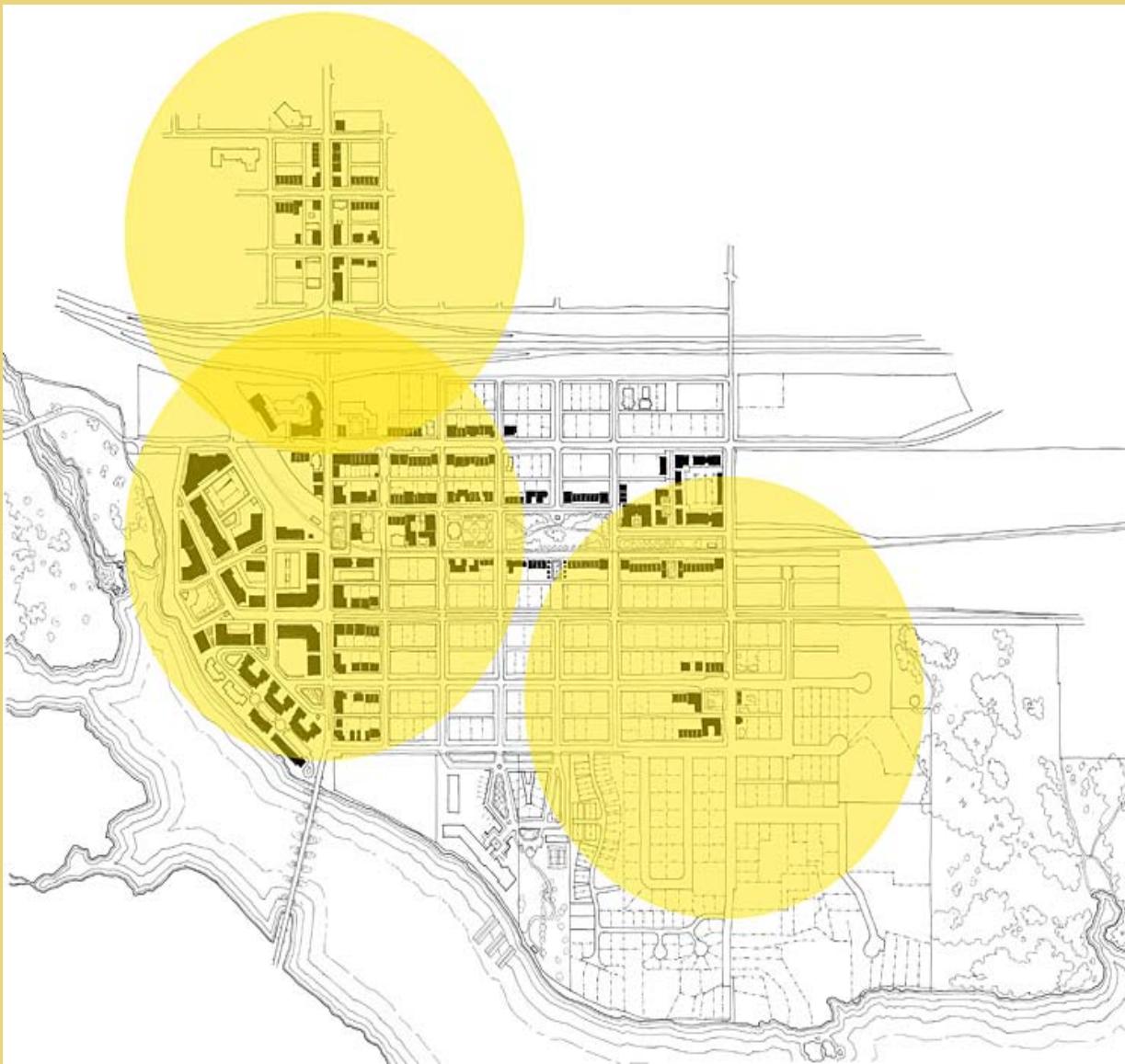
Post Falls, Idaho

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Post Falls, Idaho

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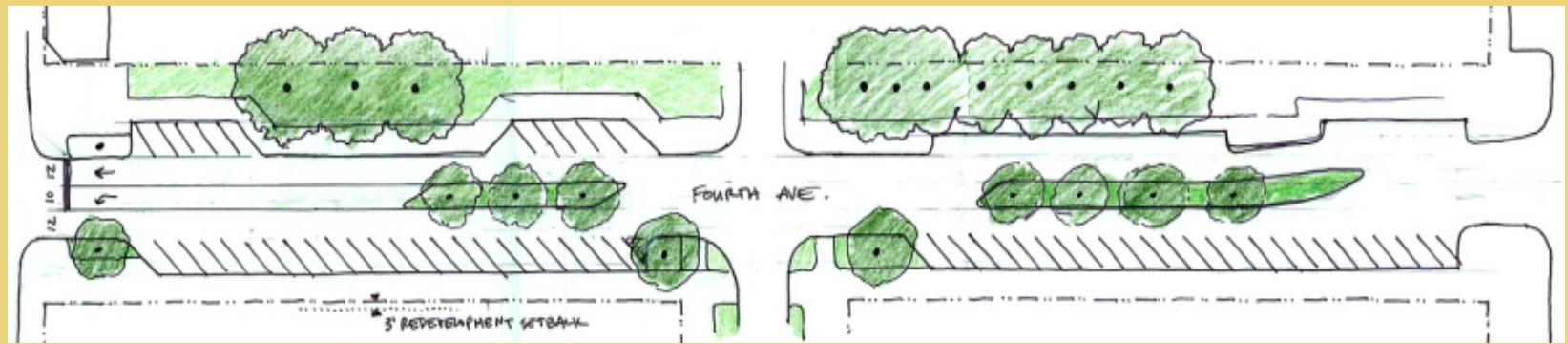
Post Falls, Idaho

SmartCode



Post Falls, Idaho

SmartCode



Post Falls, Idaho

SmartCode



Post Falls, Idaho

SmartCode

Compliance with Minimum Contiguous Acreage requirements for selected New Community Type(s) as set forth in Section 2.3.2.a

TND: Overall Acreage = 416 acres

SITE BOUNDARY



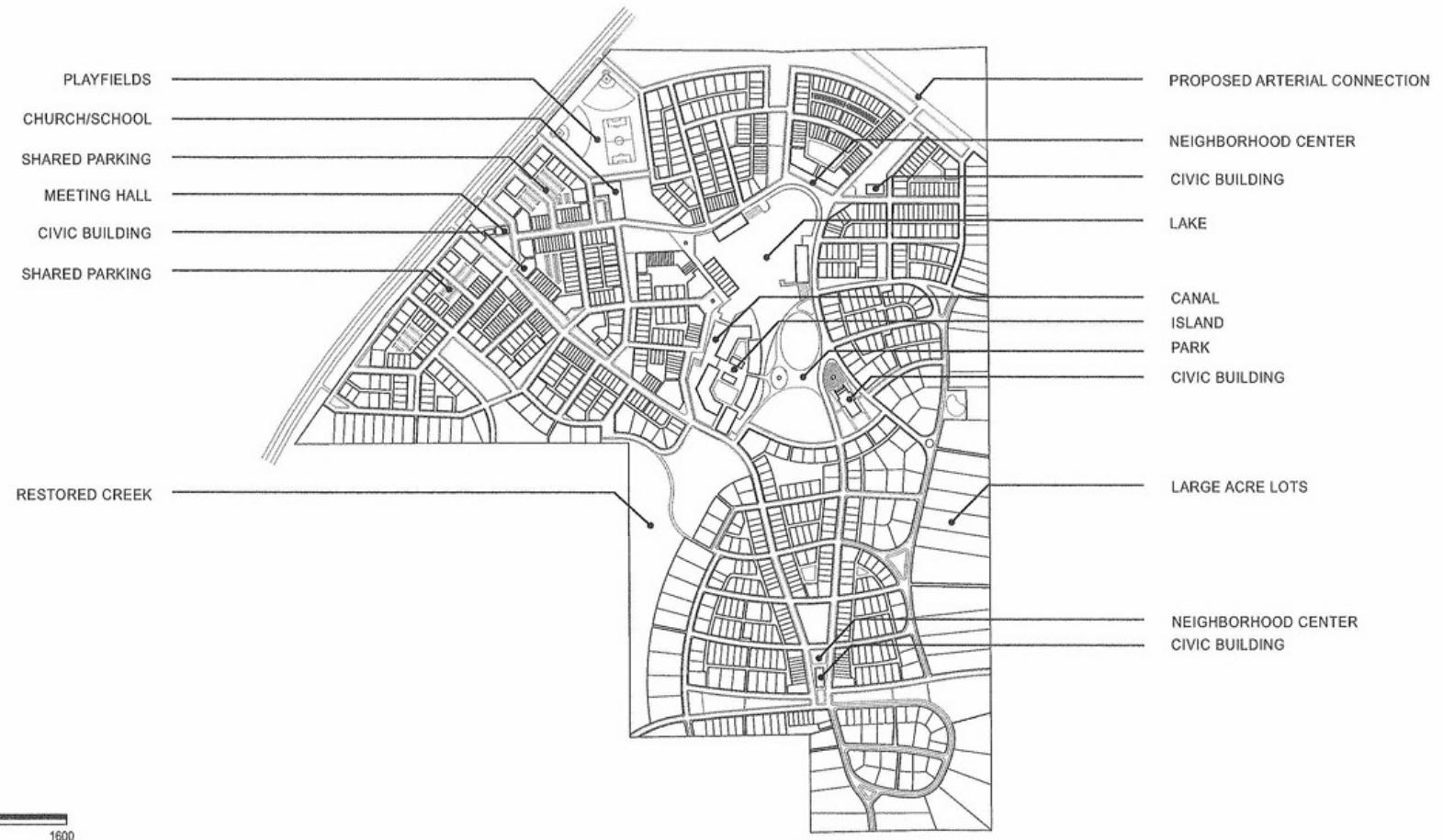
0 400 800 1600





Montgomery, Alabama

SmartCode



Compliance with Allocation of Land Outside Pedestrian Sheds as set forth in Section 2.1.8

Transect Zones outside shed: T1, T2, T3

Compliance with Pedestrian Shed requirements as set forth in Section 2.3.2.b

Transect Zones within shed: T3, T4, T5

Compliance with Transect Zone Allocation requirements as set forth in Table 14 A

See table below

*Note: Transect allocation at north of property subject to final location of Regional Arterial Collector

	T1 NATURAL ZONE		T3 SUB-URBAN ZONE		T4 GENERAL URBAN		T5 URBAN CENTER		CIVIC		TOTAL	
1	-	0.0%	11.54	10.6%	36.35	33.3%	30.16	27.6%	31.09	28.5%	109.14	100.0%
2	18.32	12.3%	19.57	13.1%	46.85	31.5%	17.06	11.5%	47.09	31.6%	148.89	100.0%
3	19.14	12.2%	45.81	29.1%	65.35	41.5%	16.25	10.3%	10.77	6.8%	157.32	100.0%
TOTAL	37.46	9.0%	76.92	18.5%	148.55	35.8%	63.47	15.3%	88.95	21.4%	415.35	100.0%



Compliance with Thoroughfare Termination and Cul-de-sac Limitation as set forth in 2.6.2. c

"All Thoroughfares shall terminate at other Thoroughfares, forming a network... Cul-de-sacs shall be permitted only when warranted by natural site conditions."

Lots Fronting a Cul-de-sac: None

Compliance with Required % of Lots Enfronting Thoroughfares as set forth in Section 2.6.2. d

"Lots shall enfront a vehicular Thoroughfare, except that 20% of the lots within each Transect Zone may enfront a pedestrian passage."

Lots Fronting a Vehicular Thoroughfare: 100%

- VEHICULAR THOROUGHFARES
- REAR ALLEY
- REAR LANE
- PEDESTRIAN PATHS
- PEDESTRIAN PASSAGES

- T1 - NATURAL ZONE
- T2 - RURAL ZONE
- T3 - SUB-URBAN ZONE
- T4 - GENERAL URBAN ZONE
- T5 - URBAN CENTER ZONE
- CS - CIVIC SPACE
- CB - CIVIC BUILDING RESERVE



Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

THOROUGHFARE TYPES

Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Standard Street:	SS
Residential Street:	RS
Standard Road:	SR
Rural Road:	RR
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR

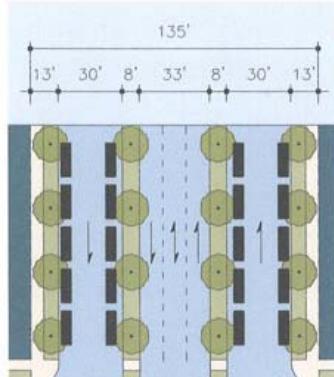
Thoroughfare Type	
Transect Zone Assignment	Boulevard - BV
Right-of-Way Width	15
Pavement Width	13.5 feet
Movement	Free movement
Design Speed	35 MPH
Pedestrian Crossing Time	8.5 seconds - 9.5 seconds - 8.5 seconds
Traffic Lanes	3 lanes: two-ways, 1 turning lane & 2 one-way slip roads
Parking Lanes	8 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot sidewalk
Planter Type	7 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR, TR

Boulevards: are a transformation of highways upon entering an urbanized area. They are appropriate for speed-movement thoroughfares outside neighborhoods. The effect of the side medians is to buffer buildings along the edges from traffic on the center lanes.

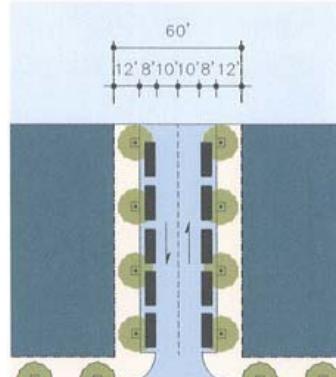
Commercial Street: are appropriate for commercial buildings at Center and Core Zones. Trees are define by individual planters, creating a sidewalk of maximum width, with areas accommodating street furniture. A single species of tree should be planted in opportunistic alignment storefronts. Clear trunks and high canopies are necessary to avoid interference with shopfronts, signage, and awnings. Streets are detailed with raised curbs and closed storm drainage.

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enframing commercial and residential uses.

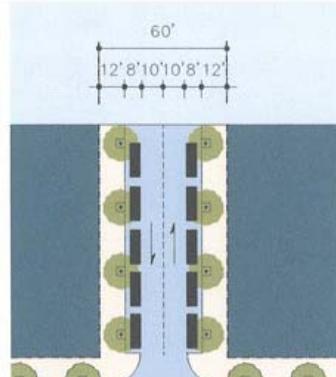
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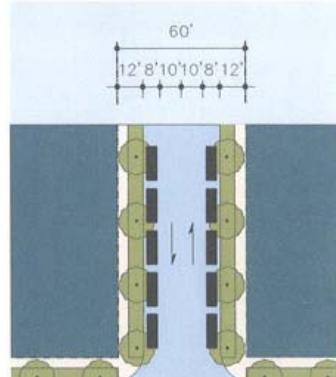
BV-135-33



CS-60-36



ST-60-36



ST-60-36 R

Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

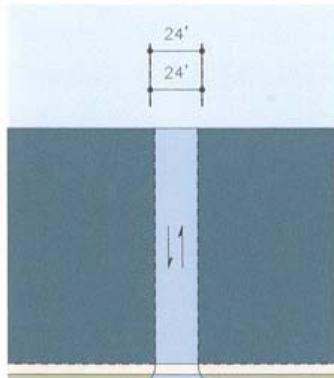
Alley: a narrow vehicular access way to the rear of more urban lots providing service areas, parking access, and utility easements. Alleys, as they are used by trucks and must accommodate dumpsters, should be paved from building face to building face, with drainage by inverted crown at the center.

Lane: a vehicular access way located to the rear of more rural lots providing access to parking and outbuildings and utility easements. Lanes are paved as lightly as possible (to driveway standards) and should be as rural as possible in character and may be just gravel or left unpaved.

Passage: a pedestrian connector passing between buildings. Passages provide shortcuts through long blocks and connect rear parking areas with street frontages. Passages may be roofed over and lined by shopfronts.

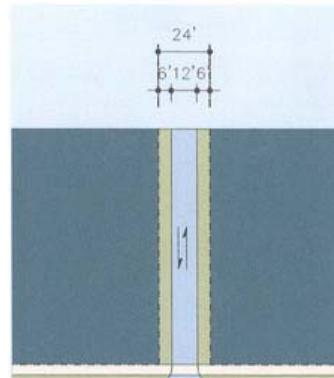
Path: a pedestrian way traversing a park or the countryside. Paths shall connect directly with the sidewalk network.

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	24'
Pavement Width	20'
Transportation	



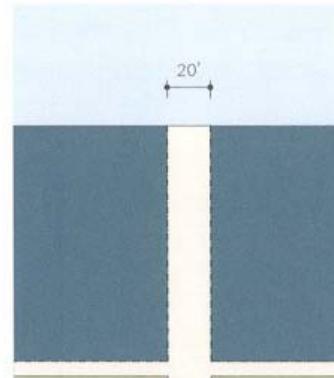
RA-24-24

Thoroughfare Type	Rear Alley - RA
Transect Zone Assignment	T5, T4
Right-of-Way Width	24 feet
Pavement Width	24 feet
Movement	Slow Movement
Design Speed	10 MPH
Pedestrian Crossing Time	6.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	N/A
Walkway Type	N/A
Planter Type	N/A
Curb Type	N/A
Landscape Type	N/A
Transportation Provision	N/A



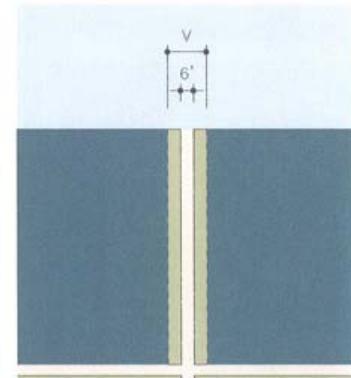
RL-24-12

Thoroughfare Type	Rear Lane - RL
Transect Zone Assignment	T3
Right-of-Way Width	24 feet
Pavement Width	12 feet
Movement	Yield Movement
Design Speed	10 MPH
Pedestrian Crossing Time	3.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	N/A
Walkway Type	N/A
Planter Type	N/A
Curb Type	N/A
Landscape Type	N/A
Transportation Provision	N/A



PS-20-20

Thoroughfare Type	Passage - PS
Transect Zone Assignment	T5, T4
Right-of-Way Width	20 feet
Pavement Width	20 feet
Movement	Pedestrian
Design Speed	N/A
Pedestrian Crossing Time	N/A
Traffic Lanes	N/A
Parking Lanes	N/A
Curb Radius	N/A
Public Frontage Type	N/A
Walkway Type	N/A
Planter Type	N/A
Curb Type	N/A
Landscape Type	N/A
Transportation Provision	N/A



PT-V-6

Thoroughfare Type	Path - PT
Transect Zone Assignment	T4, T3
Right-of-Way Width	Varies
Pavement Width	6 feet
Movement	Pedestrian
Design Speed	N/A
Pedestrian Crossing Time	N/A
Traffic Lanes	N/A
Parking Lanes	N/A
Curb Radius	N/A
Public Frontage Type	N/A
Walkway Type	N/A
Planter Type	N/A
Curb Type	N/A
Landscape Type	N/A
Transportation Provision	N/A

Compliance with Civic Function Allocation as set forth in Section 2.7.2.a

"Each Pedestrian Shed shall assign at least 5% of its urbanized area to Civic Space."

Neighborhood 1: 28.5 % developable land

Neighborhood 2: 31.6 % developable land

Neighborhood 3: 6.8 % developable land*

* T1 Natural Zone not included in Civic Space calculation but is also Green Space.

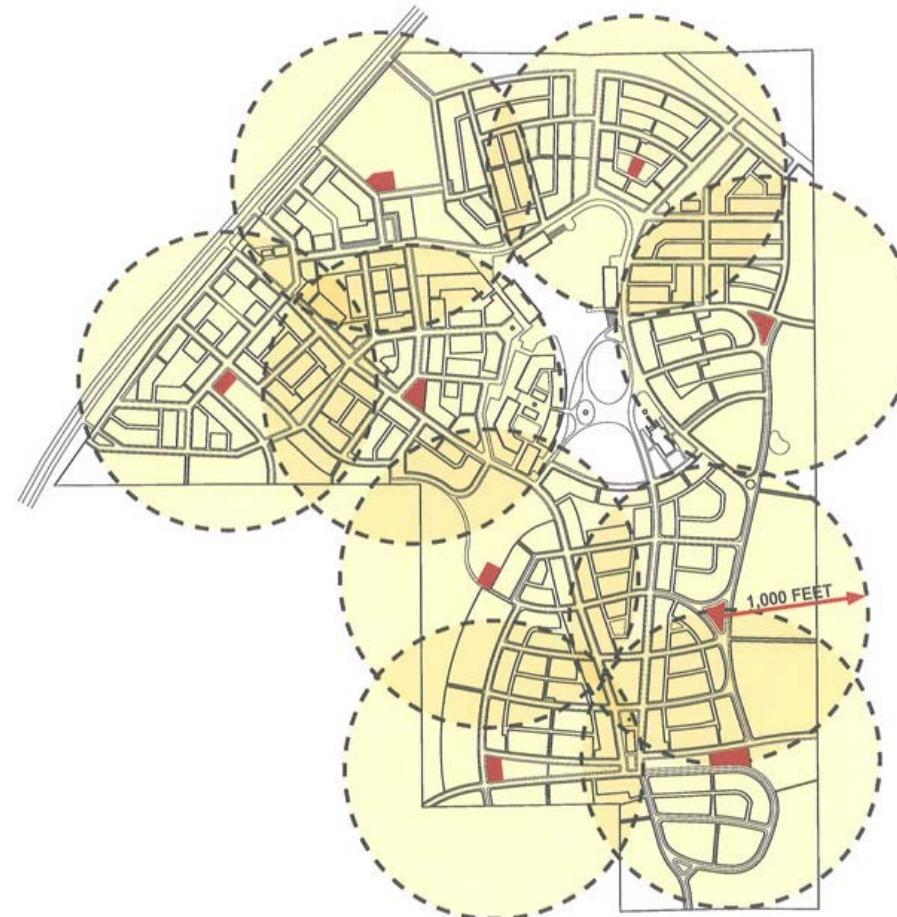


Compliance with Civic Function Allocation as set forth in Section 2.7.2. d

Nine Playgrounds

 CIVIC FUNCTION PLAYGROUNDS

 1000' PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.3.d

"Civic Building Sites shall not occupy more than 20% of the area of each Pedestrian Shed."

Pedestrian Shed 1

Total civic building sites: 6.38 acres = 6.6%

Pedestrian Shed 2

Total civic building sites: 6.7 acres = 5.3%

Pedestrian Shed 3

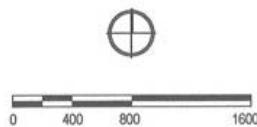
Total civic building sites: 1.91 acres = 1.6%



CIVIC BUILDING SITES



1/4 MILE PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.2.c and Table 13

Section 2.7.2.c

"The main Civic Space shall be within 800 ft of the geographic center of each Pedestrian Shed, unless..."

Pedestrian Shed 1: 528 ft from center

Pedestrian Shed 2: 424 ft from center

Pedestrian Shed 3: 611 ft from center

Table 13

1. Square: 2.68 Acres

2. Green: 9.42 Acres

3. Plaza: 1.08 Acres

Compliance with Civic Space requirements as set forth in Section 2.7.2.e

Section 2.7.2.e

"Each Civic Space shall have a minimum of 50% of its perimeter Enframing a Thoroughfare."

Pedestrian Shed 1: 100%

Pedestrian Shed 2: 62.5%

Pedestrian Shed 3: 100%



CIVIC FUNCTION MAIN SPACE

1/4 MILE PEDESTRIAN SHED



SmartCode Resources

- SmartCode Workshop
 - March 2007 in Austin, Texas
- SmartCode Manual
 - www.placemakers.com/smartcode/ManualNotes.pdf
- SmartCode Listserv
 - www.placemakers.com/info/listserve.html
- SmartCode Writings
 - <http://www.placemakers.com/info/infoClear.html>

CNU XV in Philadelphia

May 17-20, 2007

“New Urbanism and the Old City”

<http://www.cnu.org/cnuxv/>